



Building Safety

Revised May 2014

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Schedule Inspections	(Phone only)	801-774-1040

How to obtain a building permit for **DETACHED ACCESSORY STRUCTURES**

Detached Accessory Structures under 200 Square Feet do not require a permit, but must still meet set back and side yard requirements.

PERMIT APPLICATION 2 copies required for submittal.

1. Permit application filled out with proper contact numbers, contractor licensing numbers and use of building information. [Sample #1](#)
2. Site plan / plot plan (8 1/2 inches by 11 inches or bigger) [Sample #2](#)
3. Footing and foundation plan. [Sample #3](#)
4. Floor plan. [Sample #4](#)
5. Elevations (Front, side, and rear views) [Sample #5](#)
6. Wall cross sections and details [Sample #6](#)
7. Plumbing, and electrical if applicable. [Sample #4](#)
8. Species and grade of lumber (size of joists and beams)

1. The above items are the **MINIMUM** requirements that must be shown on your plans.
2. Submitted plans are held for review a minimum of one week.
3. Roy City does not have online permitting at this time. Permit applications are available at the counter of the planning and Zoning office.
4. Below are sample drawings to assist you in your preparation for applying for a building permit.

Sample #1

OR PRINT CLEARLY - PRESS DOWN YOU ARE MAKING SEVERAL COPIES



ALL ITEMS WITH ASTERISK ★ MUST BE FILLED OUT

BUILDING PERMIT APPLICATION

BECOMES PERMIT WHEN SIGNED

ROY CITY

Date of Application		Date Work Starts	
Proposed Use of Structure			
Bldg. Address			
Address Certificate No.		Assessors Parcel No.	
Lot #	*Block	* Subd. Name & Number	
Property Location <small>metes and bounds see instructions</small>			
Total Property Area - In Acres or Sq. Ft.		Total Bldg. Site Area Used	
Owner of Property		Phone	
Mailing Address		City - Zip	
Business Name Address		Business Lic. No.	
Architect or Engineer		Phone	
General Contractor		Phone	
*Business Address - City - Zip		* State Lic. No.	* City/Co. Lic. No.
Electrical Contractor		Phone	
*Business Address - City - Zip		* State Lic. No.	* City/Co. Lic. No.
Plumbing Contractor		Phone	
*Business Address - City - Zip		* State Lic. No.	* City/Co. Lic. No.
Mechanical Contractor		Phone	
*Business Address - City - Zip		* State Lic. No.	* City/Co. Lic. No.

Applicant fills out

Building Department fills out

Receipt No.	Date Issued	Permit Number
BUILDING FEE SCHEDULE		
Square Ft. of Building		Valuation
<input type="checkbox"/> Rough Basement		Building Fees
<input type="checkbox"/> Finish Basement		Plan Check Fees
Carport sq. ft.		Electrical Fees
Garage sq. ft.		Plumbing Fees
Type of Bldg.	Occ. Group	Mechanical Fees
No. of Bldgs.	R. Value Walls Roof	Subtotal
No. of Stories	R R	Water
No. of Bedrooms		Sewer
No. of Dwellings		Storm Sewer
Type of Construction		Moving or Demo.
<input type="checkbox"/> Frame <input type="checkbox"/> Brick Var.		Temporary Conn.
<input type="checkbox"/> Brick <input type="checkbox"/> Block <input type="checkbox"/> Concrete <input type="checkbox"/> Steel		Inspection Fee
Max. Occ. Load		
Fire Sprinkler <input type="checkbox"/> Yes <input type="checkbox"/> No		
Special Approvals	Required	Approved
Board of Adjustment		
Health Dept.		
Fire Dept.		
Soil Report		
Water or Well Permit		
Traffic Engineer		
Flood Control		
Sewer or Septic Tank		
City Engineer (off site)		
Gas		
Comments:		
Land Use Cert.		
Electrical Dept.		
HiBack C.G. & S.		
Other		
Bond Required <input type="checkbox"/> Yes <input type="checkbox"/> No	Amount	
This application does not become a permit until signed below.		
Plan Chk. OK by		
Signature of Approval		Date
This permit becomes null and void if work or construction authorized is not commenced within 180 days, or if construction or work is suspended or abandoned for a period of 180 days at any time after work is commenced. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction and that I make this statement under penalty of perjury.		
* Signature of Contractor or Authorized Agent		Date
* Signature of Owner (If owner)		Date

* Previous Usage of Land or Structure (Past 3 yrs.)

*Dwell. Units Now on Lot * Accessory Bldgs. Now on Lot

*Type of Improvement/Kind of Const.

Sign Build Remodel Addition

Repair Move Convert Use Demolish

*No. of offstreet parking spaces:

Covered	Uncovered
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SUB-CHECK		Zone	Zone Approved By
Disapproved			
Approved _____ Date _____		Sub-Ck. By _____	
Minimum Setbacks in Feet			
Front	Side	Side	Rear
		() Prop. Line	() Prop. Line
Indicate Street If Corner Lot		House or House & Garage if	

Applicant signs

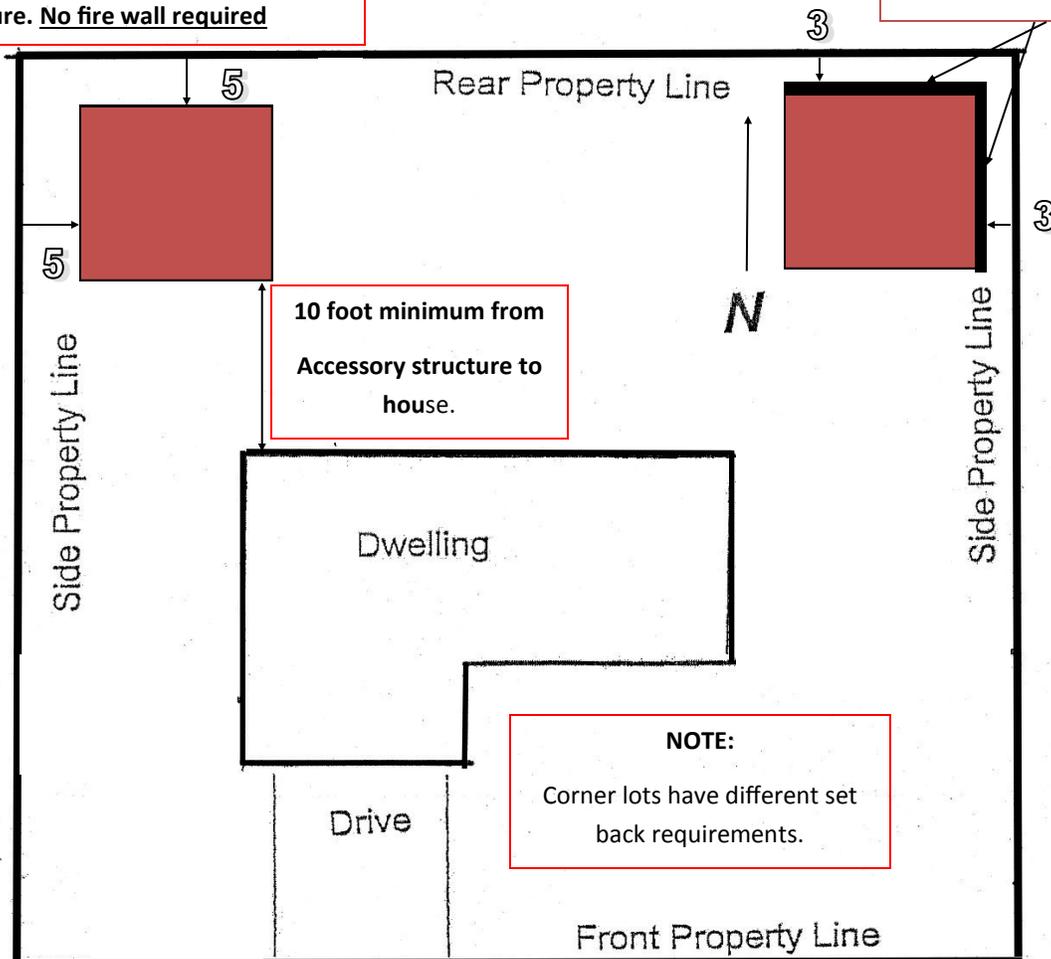
Census Tract. Traffic Zone Coordinate Ident. No.

Sample #2

Site plan

Five foot minimum from any property line to the wall of the structure. No fire wall required

One hour rated fire wall.
tested in accordance with
ASTM E 119 or UL 263 with
exposure from both sides.



NOTE: A one hour fire rated wall is required when less than 5 foot to property any property line and shall tested in accordance with ASTM E 119 or UL 263 with exposure from both sides.

Show and describe:

- Distance from Building to Property lines (Dimensions)
- All existing structures presently on lot.
- Address and street.
- Indicate North

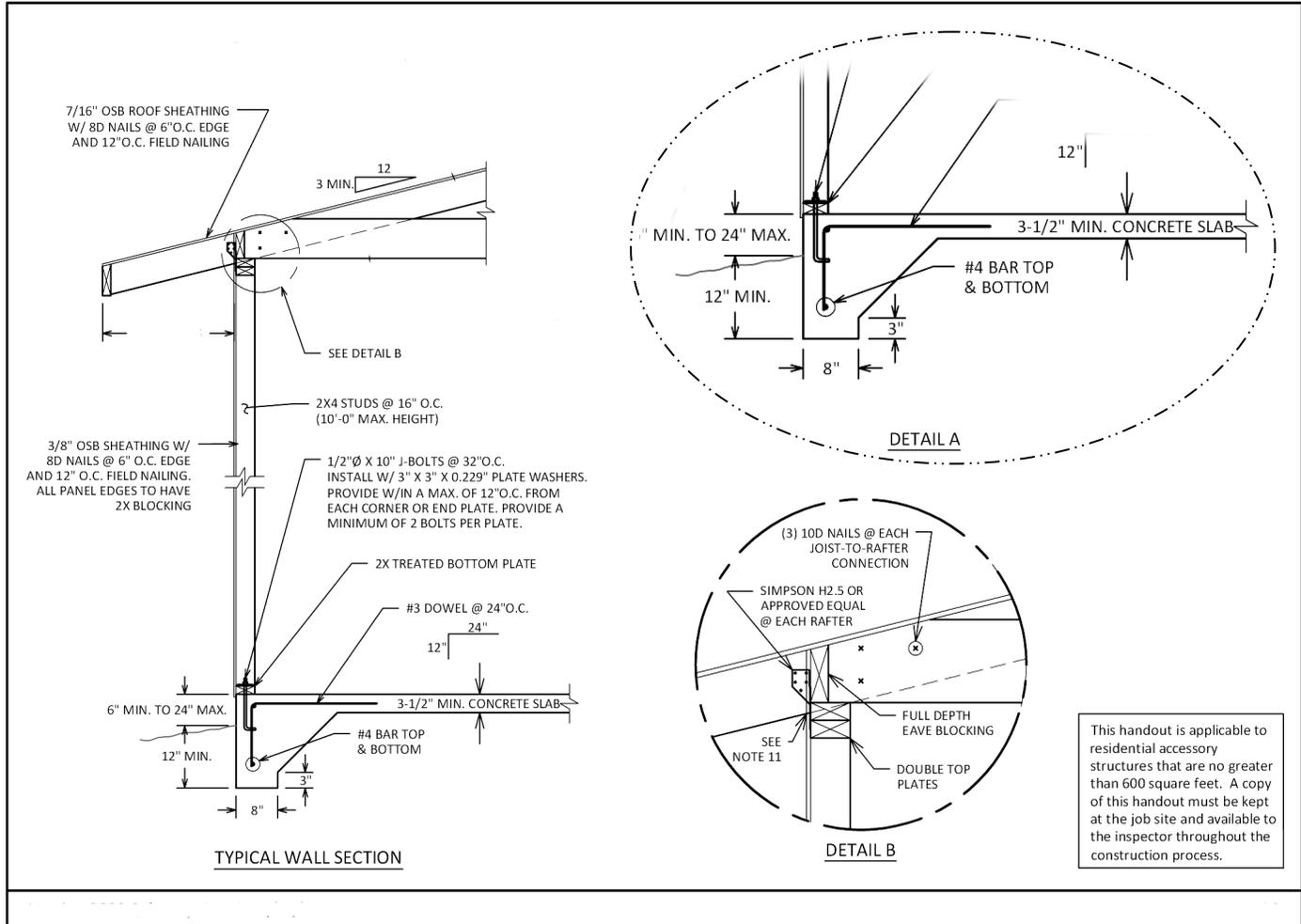
NOTE: setbacks and side yards are measured from the property line, not the sidewalk. (property lines are typically one foot inside the sidewalk.)

Sample #3

Footing and foundation

Residential Accessory Structures

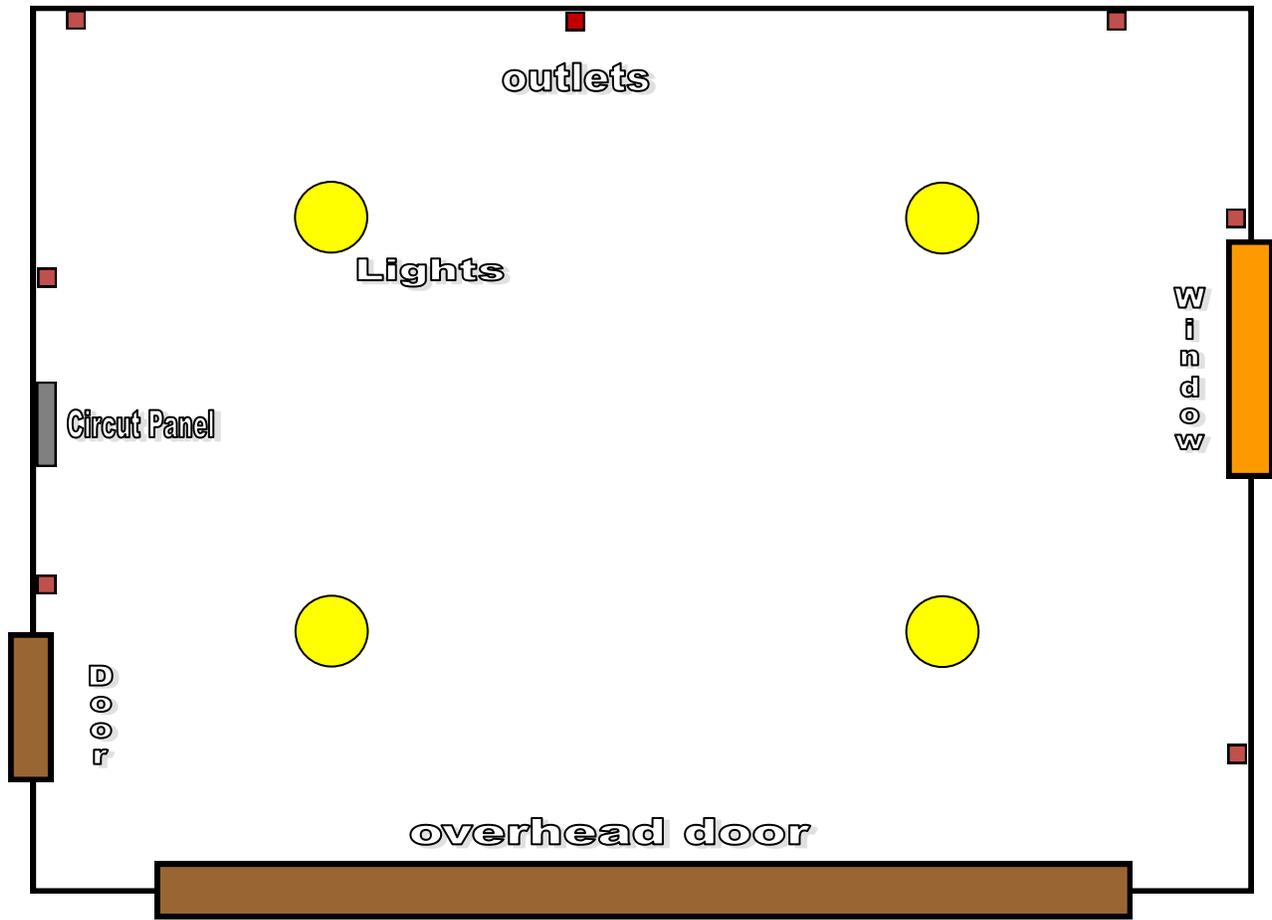
Based on the 2006 International Residential Code



1. Buildings under 400 square feet can be placed on a 3 1/2 inch concrete slab.
2. Buildings between 400 and 600 square feet can be placed on a monolithic slab if construction is followed per the detail above.
3. Buildings over 600 square feet must have footings and foundations per Utah State amendment.

Sample #4

Floor Plan



Show and describe:

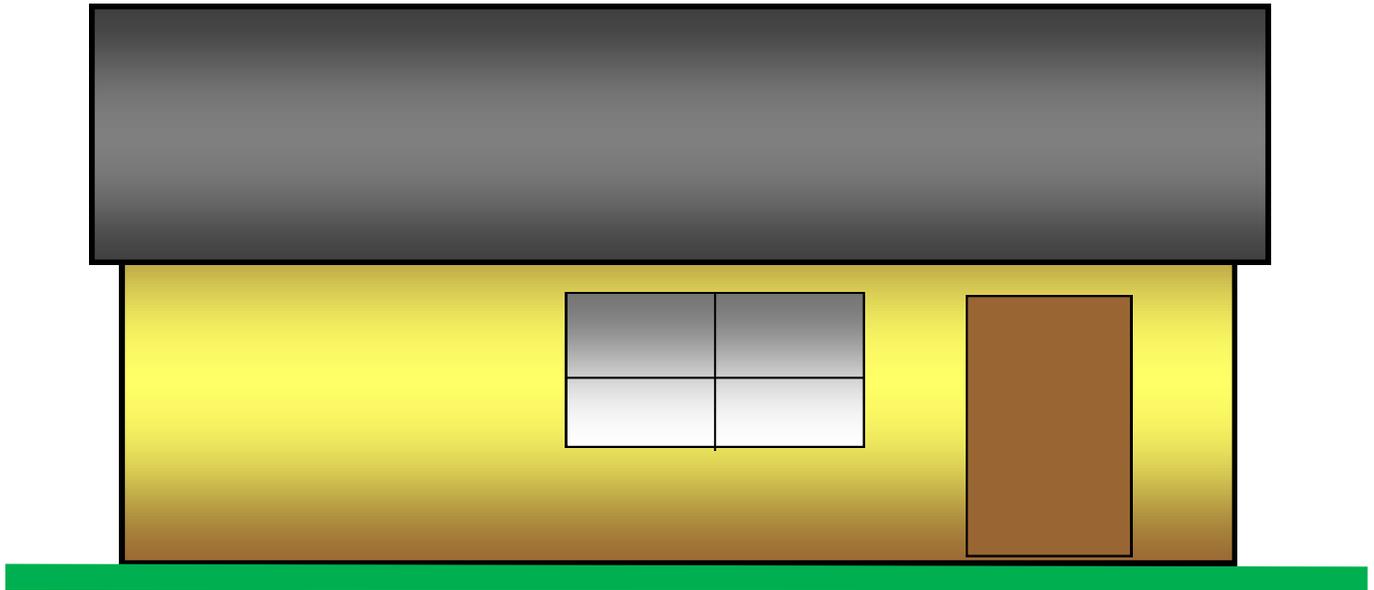
- A. Location of doors, window's and openings.
- B. Electrical outlets, lights. Also location of interior circuit panel.
- C. Dimensions of overall building.

Note: All electrical wiring in garages and sheds must be protected by placing sheetrock or OSB on walls in front of wiring or wiring must be run in conduit.

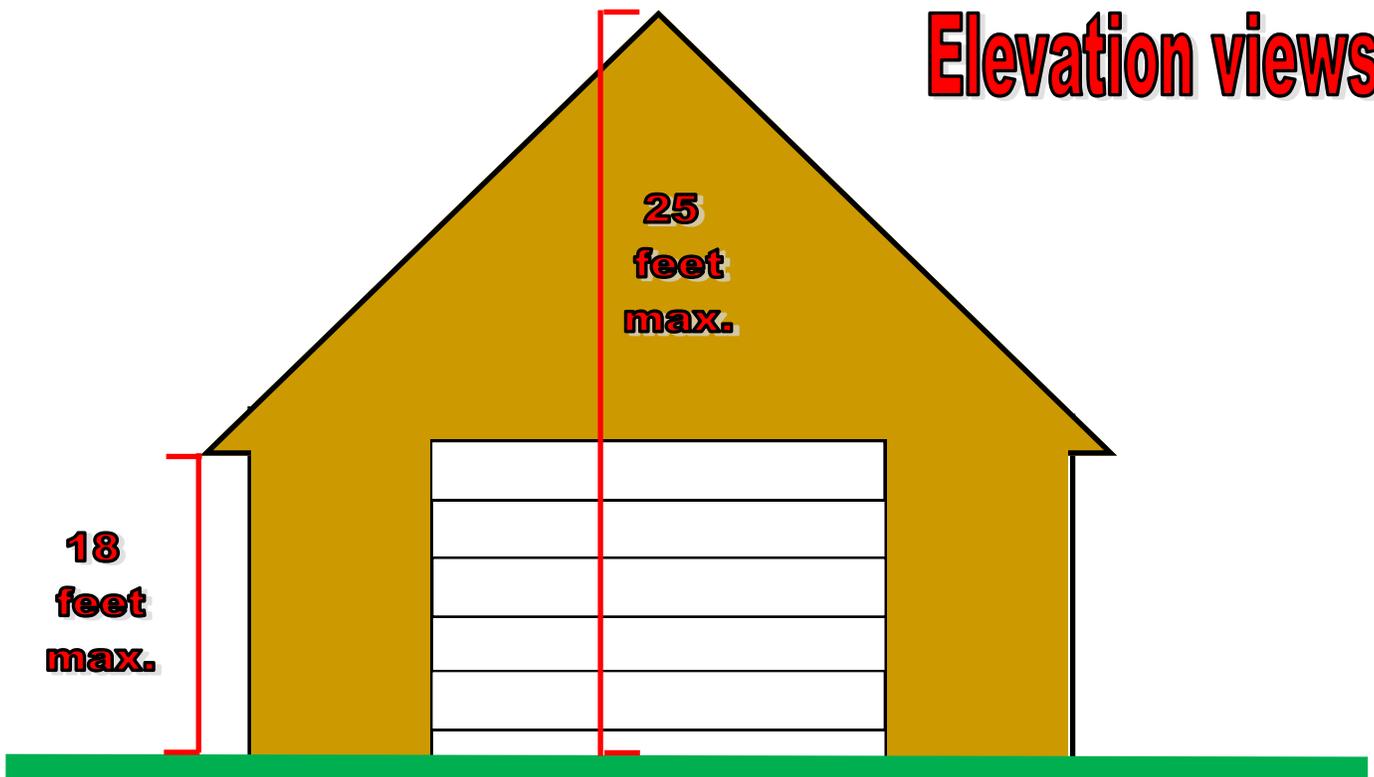
Sample #5

Elevation views

One story only

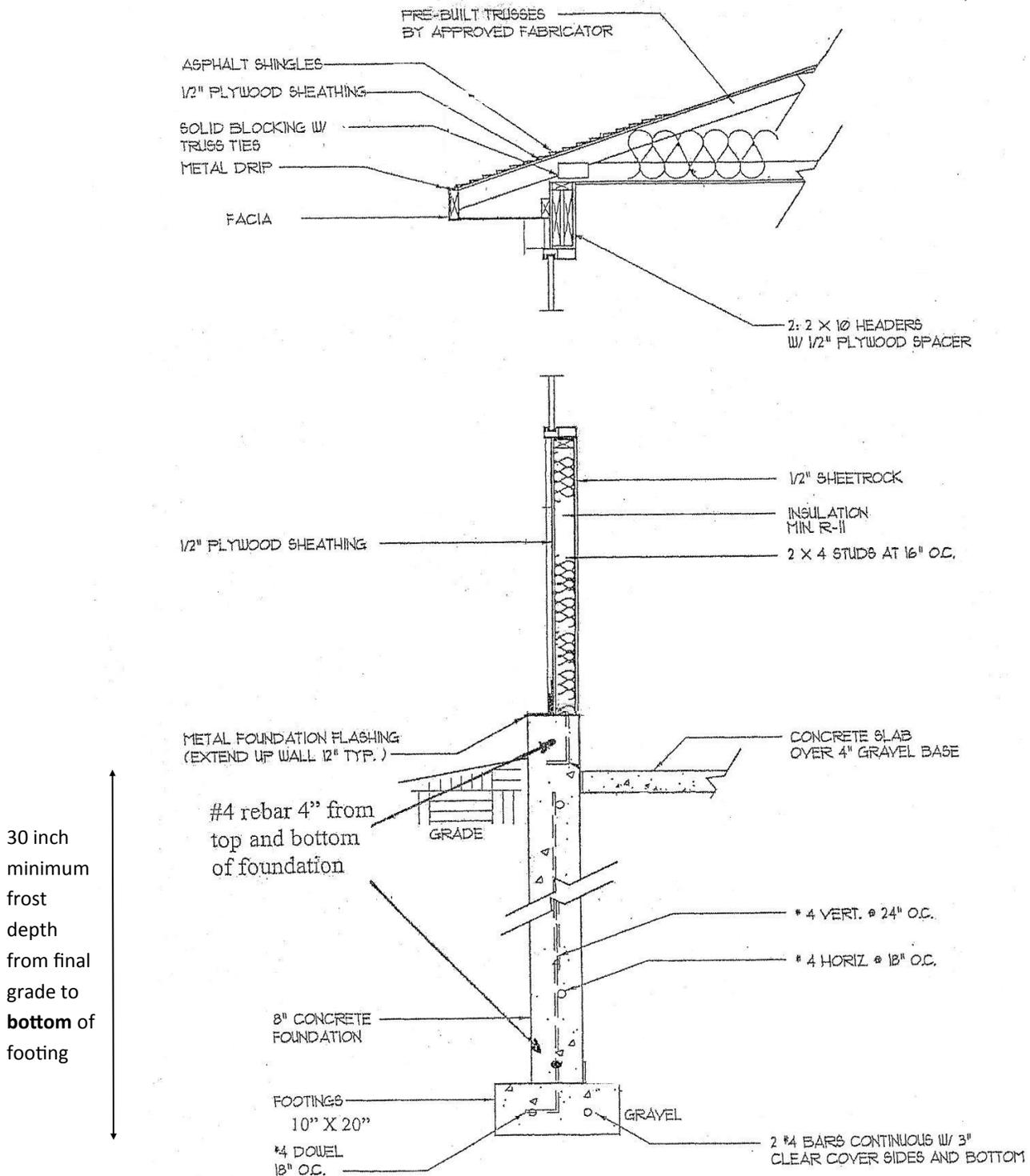


Elevation views



Sample #6

Section view with footings per state amendment



State Amendment

ADDITIONAL REQUIREMENTS

1. Any accessory buildings located less than ten (10) feet from the primary building (home), shall be considered attached and part of the primary building and the setback requirements applicable to the primary building shall apply to the accessory building.
2. Any accessory buildings located ten (10) feet or more away from the primary building may be located no less than three (3) feet from the side or rear property line (s), from the roof line, or twenty (20) feet on the side of a corner lot on the street side. Provided that where the exterior walls are located less than five (5) but not less than three (3) feet and constructed as a one hour rated fire wall and provided garage or accessory buildings may not be located in the required front yard or within an area containing a recorded easement.
3. Any accessory building located less than five (5) feet to property lines is required to be protected by a one hour rated fire wall tested in accordance with ASTM E 119 or UL 263 with exposure from both sides.
4. No storm water runoff from accessory buildings is allowed to run onto adjacent property. No portion of any accessory building shall be allowed to extend over any property line.
5. Minimum distance between dwellings and accessory buildings housing animals shall be located not less than twenty (20) feet from the dwelling located on the same lot and not less than seventy-five (75) feet from a dwelling on any adjacent lot. Zoning ordinances shall be complied with for the allowance of animals.
6. Any accessory structure shall not be built on a utility easement without written permission from all the utility companies. Copies of written approval need to be provided to the City.
7. The total of all accessory buildings located on a residential lot shall not occupy an area that exceeds twenty five percent (25%) of the rear yard area and in R-1-6, R-1-7, R-1-8, R-1-10, and R-1-15 zones shall not exceed one thousand two hundred fifty (1250) square feet.
8. Single story only : maximum height can be eighteen (18) feet measured to the top of the wall plate or twenty-five (25) feet to the pitch of the roof.
9. Electrical permitted: Any electrical work done in any structure needs to meet the electrical code. No separate utility connections or meters shall be allowed for accessory buildings.
10. Personal use only: No business operation is allowed within an accessory building. Personal use only.
11. No accessory building shall be used as a dwelling unit for human occupancy.
12. All zoning and building codes shall be complied with.